

GENERAL LOCATION MAP

LOCATION MAP

Area Chart

Covered Patio	159 SF
Garage	473 SF
Ground Floor	1280 SF
Second Floor	562 SF
Built	2475 SF

Living Area

Ground Floor	1280 SF
Second Floor	562 SF
Total	1842 SF

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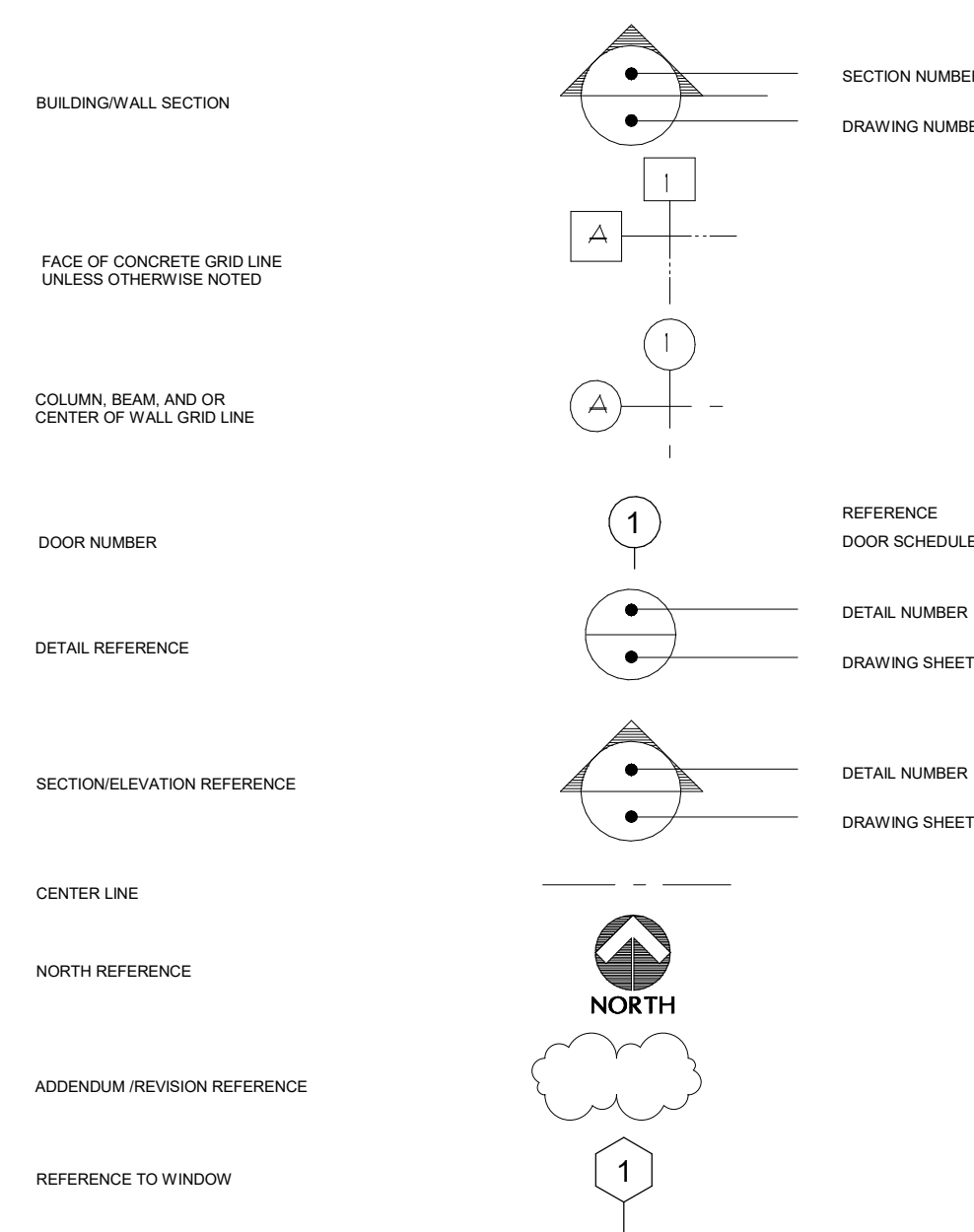
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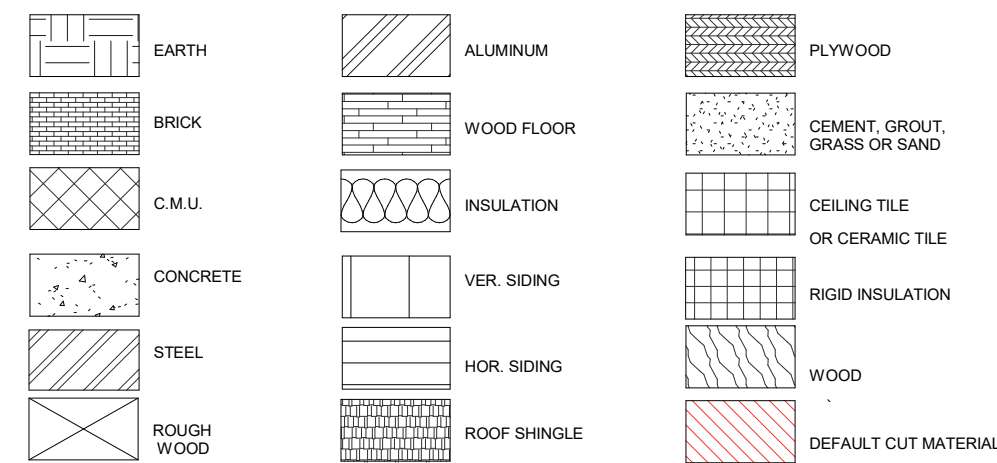
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REFERENCE SYMBOLS



MATERIALS LEGEND



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CONSTRUCTION DRAWINGS ORGANIZATION

ARCHITECTURAL DRAWINGS ORGANIZATION:

ARCHITECTURAL DRAWINGS OCCUR FIRST IN THE DOCUMENTS PACKAGE AND ARE ORGANIZED INTO SECTIONS, GENERALLY ACCORDING TO THE PARTICULAR ASPECT OF WORK ON THE PROJECT. EACH SECTION IS NUMBERED SEQUENTIALLY, AS FOLLOWS:

- A1. GENERAL INFORMATION
- A2. SITE
- A3. FLOOR PLANS
- A4. CEILINGS, FLOOR FINISHES
- A5. ROOF
- A6. EXTERIOR ELEVATIONS
- A7. SECTIONS
- A8. INTERIOR ELEVATIONS, CABINETWORK
- A9. ADDITIONAL INFORMATION / ANCILLARY CONSTRUCTION

REFER TO THE INDEX OF DRAWINGS FOR SPECIFIC ORGANIZATION DETAILS FOR THIS SET OF DOCUMENTS.

CONSULTANT DRAWINGS ORGANIZATION:

DRAWINGS PREPARED BY SEPARATE CONSULTANTS OCCUR AFTER THE ARCHITECTURAL DRAWINGS IN THE FOLLOWING SEQUENCE, IF AND AS APPLICABLE:

- L. LANDSCAPE / IRRIGATION C. CIVIL
- S. STRUCTURAL
- M. MECHANICAL
- E. ELECTRICAL
- P. PLUMBING

REFER TO EACH INDIVIDUAL CONSULTANT'S DOCUMENT PACKAGE FOR INFORMATION REGARDING THE INTERNAL ORGANIZATION, KEYING AND SYMBOL SYSTEMS FOR EACH CONSULTANT'S DOCUMENTS.

These drawings have been prepared as one coordinated set of drawings and are complimentary. What is required by one drawing is required by all of the drawings, even if a detail or reliance on a single or select few sheet(s) of the drawings without consideration for the information included in the entire the basis for a request for additional compensation or time.

PROJECT GENERAL NOTES

1.- THE OWNER WILL ASSUME RESPONSIBILITY FOR ADMINISTRATION OF THE CONTRACT FOR (WORKING DRAWINGS). THE ARCHITECT IS NOT RESPONSIBLE FOR DAMAGES RESULTING FROM CHANGES IN THE WORK NOT SET FORTH IN THE CONTRACT DOCUMENTS. SEGAMAD RO. KROW EHT GNITUCEXE ESOTHT YB SNOISSMO DNA SRORRE MORF AND OR CHANGES NOT APPROVED IN WRITING TO THE ARCHITECT

2.- CONTRACTOR SHALL HOLD ALL REQUIRED LICENCES IN THE MUNICIPALITY IN WHICH THE THE WORK IS TO BE PERFORMED. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS INCLUDING ANY AND ALL PERMITTING FEES.

3.- CONTRACTOR SHALL BE FULLY INSURED AND SUBMIT PROOF OF COVERAGE AND COVERAGE AMOUNTS WITH BID.

4.- WITH ANY QUESTIONS, COMMENTS OR DISCREPANCIES CONCERNING PLANS, ELIBSSOP SA NOOS SA JTCETHCRA ROJ RENWU EHT TO CATNOC LLAHS ROTCARTNOC

5.- CONTRACTOR SHALL FIELD VERIFY AND BE RESPONSIBLE AND UNDERSTAND ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, VARIATIONS ETC. WITH THE DIMENSIONS AND OR CONDITIONS INDICATED OR NOT INDICATED ON THESE DRAWINGS.

6.- ENGINEER, THE ARCHITECT IS NOT RESPONSIBLE FOR DISCREPANCIES, ERRORS, DAMAGES, YB DELPPUS .CTE SEITILITU FO SNOITACOL .SNOISNEMID E.I. SNOITIDNOC GNITSXE AND CHANGES RESULTING FROM INCORRECT INFORMATION.

7.- PROJECT SITE, EXAMINED THE DRAWINGS AND SPECIFICATIONS (IF PART OF CONTRACT) EHT DETISIV SAH EH TANT STANARAV DNA SERGSA REDDIB EHT .DIB A GNITIMBUS YB AND FOUND THAT THEY ARE ADEQUATE FOR THE PROPER COMPLETION OF PROJECT.

8.- SHOULD CONFLICT ARISE BETWEEN GENERAL NOTES, HEREIN AND FOLLOWING, AND SPECIFICATIONS (IF PART OF CONTRACT), THE GENERAL NOTES SHALL HAVE PRECEDENCE. WRITTEN DIMENSIONS ON DRAWINGS HAVE PRECEDENCE OVER SCALED DIMENSIONS.

19. ALL WALL & CEILING FINISHES TO BE CLASS B OR BETTER, FLAME SPREAD 26-75 WITH MAXIMUM SMOKE DEVELOPED OF 450.

20. ALL INTERIOR TRIM TO BE CLASS C, FLAME SPREAD 76-200 WITH MAXIMUM SMOKE DEVELOPED OF 450.

21. FLOOR COVERINGS TO HAVE A FLAME SPREAD RATING NOT TO EXCEED 75.

22. ALL COMBUSTIBLE INTERIOR FINISH & TRIM ITEMS ARE TO BE APPLIED DIRECTLY TO A NON-COMBUSTIBLE BASE.

23. PROVIDE AND INSTALL OCCUPANCY SIGN IN A CONSPICUOUS LOCATION IN ACCORDANCE WITH STATE & LOCAL CODES.

24. PROVIDE AND INSTALL OCCUPANCY SIGN IN A CONSPICUOUS LOCATION IN ACCORDANCE WITH STATE & LOCAL CODES.

25. SIGNAGE AS SHOWN IN THESE DRAWINGS IS SCHEMATIC ONLY FOR ILLUSTRATION PURPOSES AND DOES NOT APPLY OR DESCRIBE ANY MEANS, METHODS, OR DETAILS PERTAINING TO INSTALLATION OF THE SIGNAGE. IT SHALL BE SOLELY THE SIGN CONTRACTOR'S RESPONSIBILITY TO DESIGN, FABRICATE, AND INSTALL, THE SIGN UNDER SEPARATE PERMIT AND ALL STRUCTURAL CONSIDERATIONS SHALL BE COORDINATED BETWEEN THE SIGNAGE CONTRACTOR, OWNER, AND HIS DESIGN PROFESSIONALS. THE SIGN CONTRACTOR SHALL SUBMIT SHOP DRAWINGS DESCRIBING THE SIGNAGE DESIGN INCLUDING FINISHES, COLORS, AND DESIGN DIMENSIONS TO THE OWNER FOR DESIGN INTENT REVIEW ONLY PRIOR TO SIGN FABRICATION.

26. SPRINKLER WORK WHERE REQUIRED BY CODE OR CONSTRUCTION CONDITIONS SHALL BE SUBMITTED UNDER SEPARATE PERMIT BY A LICENSED SPRINKLER CONTRACTOR. THE SPRINKLER & FIRE ALARM INTO BASE BUILDING FIRE PROTECTION SYSTEM.

27. NO ELEMENTS ARE TO BE ATTACHED TO OR SUPPORTED FROM THE ROOF DECK.

28. G.C. SHALL NOT USE GAS POWERED CONSTRUCTION EQUIPMENT.

These drawings have been prepared as one coordinated set of drawings and are complimentary. What is required by one drawing is required by all of the drawings, even if a detail or reliance on a single or select few sheet(s) of the drawings without consideration for the information included in the entire the basis for a request for additional compensation or time.

9.- DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES, SEE WRITTEN DIMENSIONS. ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, OR TO CENTER LINE, UNLESS OTHERWISE NOTED.

10.- CONTRACTOR TO VERIFY ALL CODES, ORDINANCES, REQUIREMENTS AND INCORPORATE INTO BIDS, PROPOSALS AND CONSTRUCTION.

11.- ALL NECESSARY AND REQUIRED CONTROLLED INSPECTIONS SHALL BE MADE AND FILED WITH THE APPROPRIATE DEPARTMENTS, BY AN AUTHORIZED OR QUALIFIED LICENSED BUILDING INSPECTOR.

12.- ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS.

THE VARIOUS TRADE INSTITUTES (A.I.I., A.I.S.C., ETC.) WHERE APPLICABLE. ALL MATERIALS TO BE USED SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS.

13.- USE ONLY SKILLED AND EXPERIENCED PERSONEL. ALL WORK SHALL BE DONE IN A WORKMAN MANNER. ALL WORK TO BE DONE IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES.

14.- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE COLLAPSE, DISTORTIONS AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICES.

15.- EACH CONTRACTOR SHALL BE HELD STRICTLY RESPONSIBLE FOR HIS WORK.

16.- PROTECT ALL MATERIALS, FIXTURES AND APPLIANCES FROM WEATHER AND OR THEFT.

17.- CONTRACTOR SHALL KEEP SITE (INSIDE AND OUTSIDE) NEAT AND ORDERLY THROUGHOUT CONSTRUCTION. COMPLETED WORK SHALL BE CLEAN.

18.- PROVIDE ELECTRICAL REQUIRED FOR BURGLAR ALARM SYSTEM. CONTRACTOR TO COORDINATE INSTALLATION WITH THE SECURITY COMPANY SELECTED BY OWNER.

LIST OF ABBREVIATIONS

A.B. - ANCHOR BOLT	ACCUS. - ACOUSTICAL	F.F. - FINISHED FLOOR	PT. - PAINT
ADDL. - ADDITIONAL	A.F.F. - ASSUMED FINISHED FLOOR	FE. - FIRE EXTINGUISHER	RCP. - REFLECTED CEILING PLAN
ALUM. - ALUMINUM	ANDD. - ANODIZED	FIN. - FINISH	RE. - REFERENCE
BLKG. - BLOCKING	BM. - BEAM	FLR. - FLOOR	RECP. - RECEPTION
CG. - CORNER GUARD	CIS. - COUNTRY INNS & SUITES	FLASHG. - FLASHING	REIN. - REINFORCING
CJ. - CONTROL JOINT GLG. CEILING	CLOS. - CLOSET	FR.FRM. - FRAME	RET. - RETAINING
CMU. - CONCRETE MASONRY UNIT	COL. - COLUMN	FRT. - FIRE RETARDANT TREATMENT	REQ'D. - REQUIRED
CONC. - CONCRETE	CONF. - CONFERENCE	FTG. - FOOTING	SAT. - SUSPENDED ACOUSTICAL TILE
CONSTR. - CONSTRUCTION	CONT. - CONTINUOUS	FURN. - FURNISHED	SCHED. - SCHEDULE
CORR. - CORRIDOR	CPT. - CARPET	FURRG. - FURRING	SC WD. - SOLID CORE WOOD
CT. - CERAMIC TILE	DIMS. - DIMENSIONS	GA. - GAUGE	SECT. - SECTION
DWG'S. - DRAWINGS EA. EACH	DN. - DOWN	G.C. - GENERAL CONCRTRACTOR	SECY. - SECRETARY
ELEC. - ELECTRICAL	DWC. - DRYWALL CHANNEL	GL. - GLASS	SHT. - SHEET
ELEV. - ELEVATION	DWG'S. - DRAWINGS EA. EACH	GYP. BD. - GYPSUM BOARD	SGB. - SUSPENDED GYPSUM BOARD
EQ. - EQUAL	EQ. - EQUAL	H.M. - HOLLOW METAL	STL. - STEEL
EQUIP. - EQUIPMENT	EQ. - EQUAL	HR. - HOUR	STN. - STAIR
ENGRD. - ENGINEERED	EQ. - EQUAL	INSUL. - INSULATION, INSULATED	STO./STOR. - STORAGE
EXBT. - EXISTING	EQ. - EQUAL	JAN. - JANITOR	STRUCT. - STRUCTURAL
EXP. - EXPANSION	EQ. - EQUAL	JT. - JOINT	SUSP. - SUSPENDED
EXT. - EXTERIOR	EQ. - EQUAL	MECH. - MECHANICAL	TELE. - TELEPHONE
F.D. - FLOOR DRAIN	EQ. - EQUAL	MGR. - MANAGER	TEMP. - TEMPERED
	EQ. - EQUAL	MIN. - MINIMUM	T.G. - TOP OF GRATE
	EQ. - EQUAL	MNT. - MOUNT	TLWC. - TOP OF LIGHTWEIGHT CONCRETE
	EQ. - EQUAL	NEL. - METAL	T.V. - TELEVISION
	EQ. - EQUAL	PLAS. LAM. - PLASTIC LAMINATE	T.W. - TOP OF WALL
	EQ. - EQUAL	PLYWOOD	TYP. - TYPICAL
	EQ. - EQUAL	PRELJ. - PREMOLDED EXPANSION JOINT	U.L. - UNDERWRITERS LABORATORIES
	EQ. - EQUAL	P.P.T. - PRESERVATIVE PRESSURE TREATMENT	UNCD. - UNLESS NOTED OTHERWISE
	EQ. - EQUAL		VERT. - VERTICAL
	EQ. - EQUAL		VEST. - VESTIBULE
	EQ. - EQUAL		VCT. - VINYL COMPOSITION TILE
	EQ. - EQUAL		VWC. - VINYL WALL COVERING
	EQ. - EQUAL		WD. - WOOD

COVER PAGE

A100

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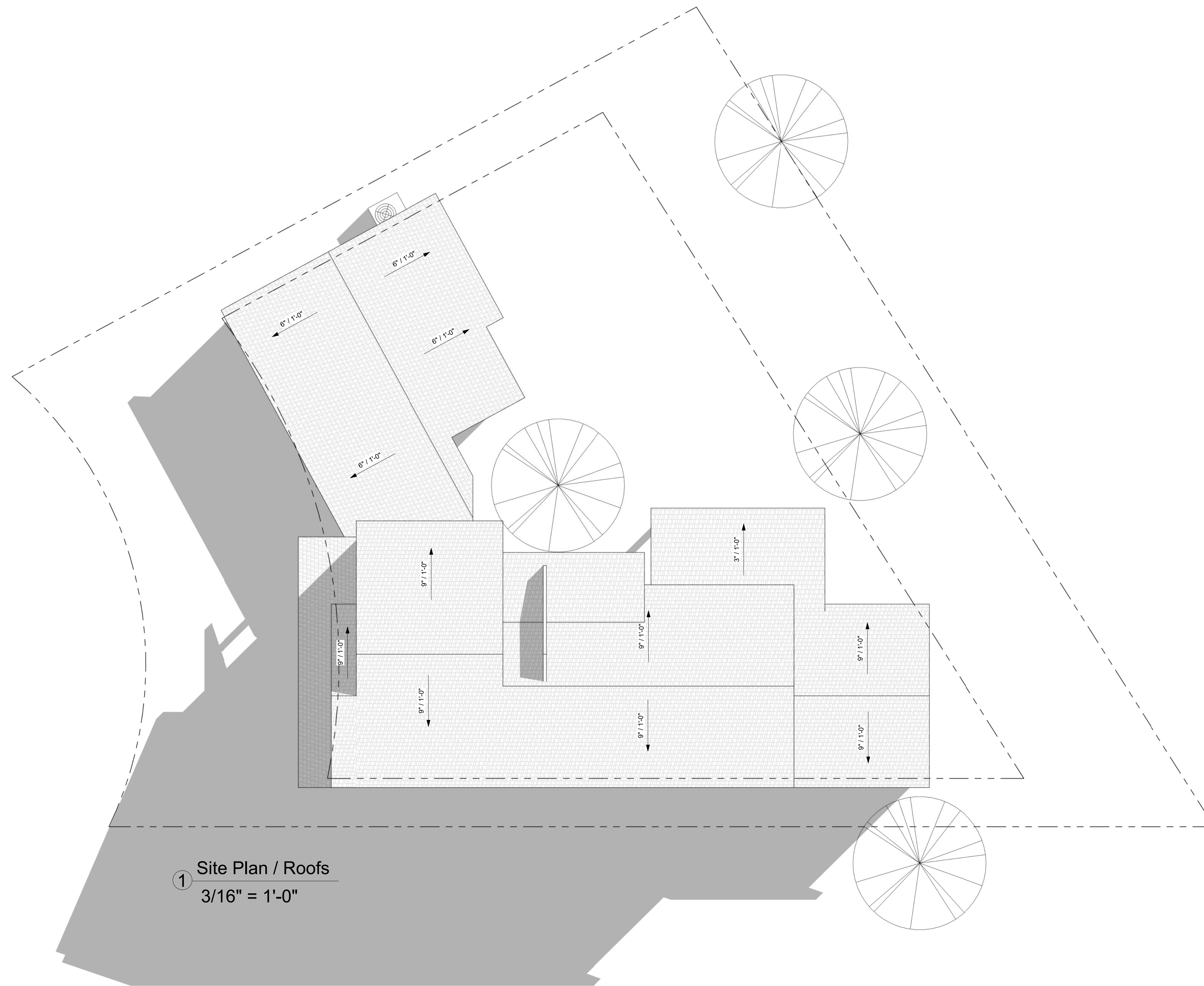
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Site Plan / Roofs

A101

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① Site Plan / Roofs
3/16" = 1'-0"



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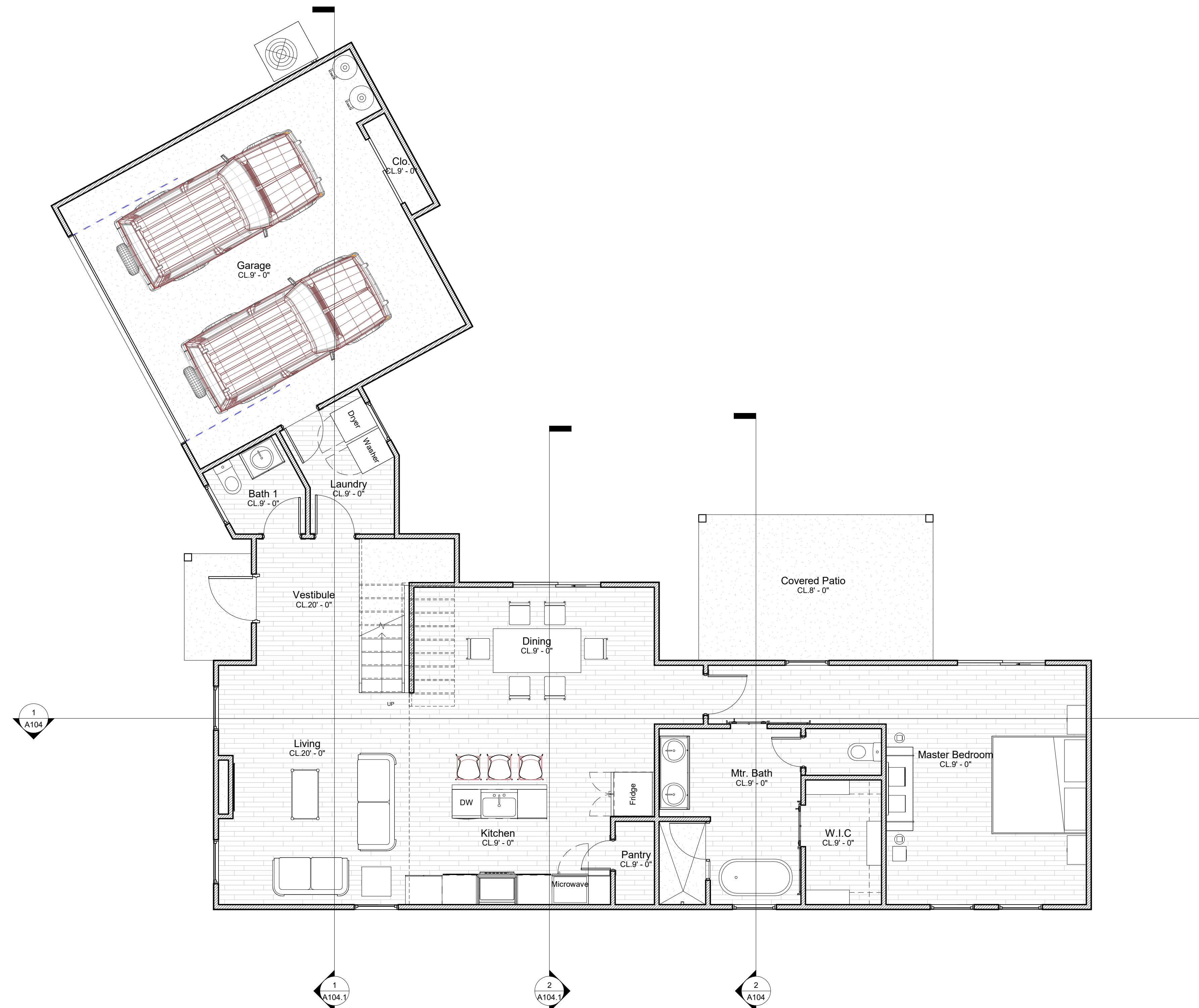
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ARCH GROUND FLOOR

A102

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① First Floor
1/4" = 1'-0"



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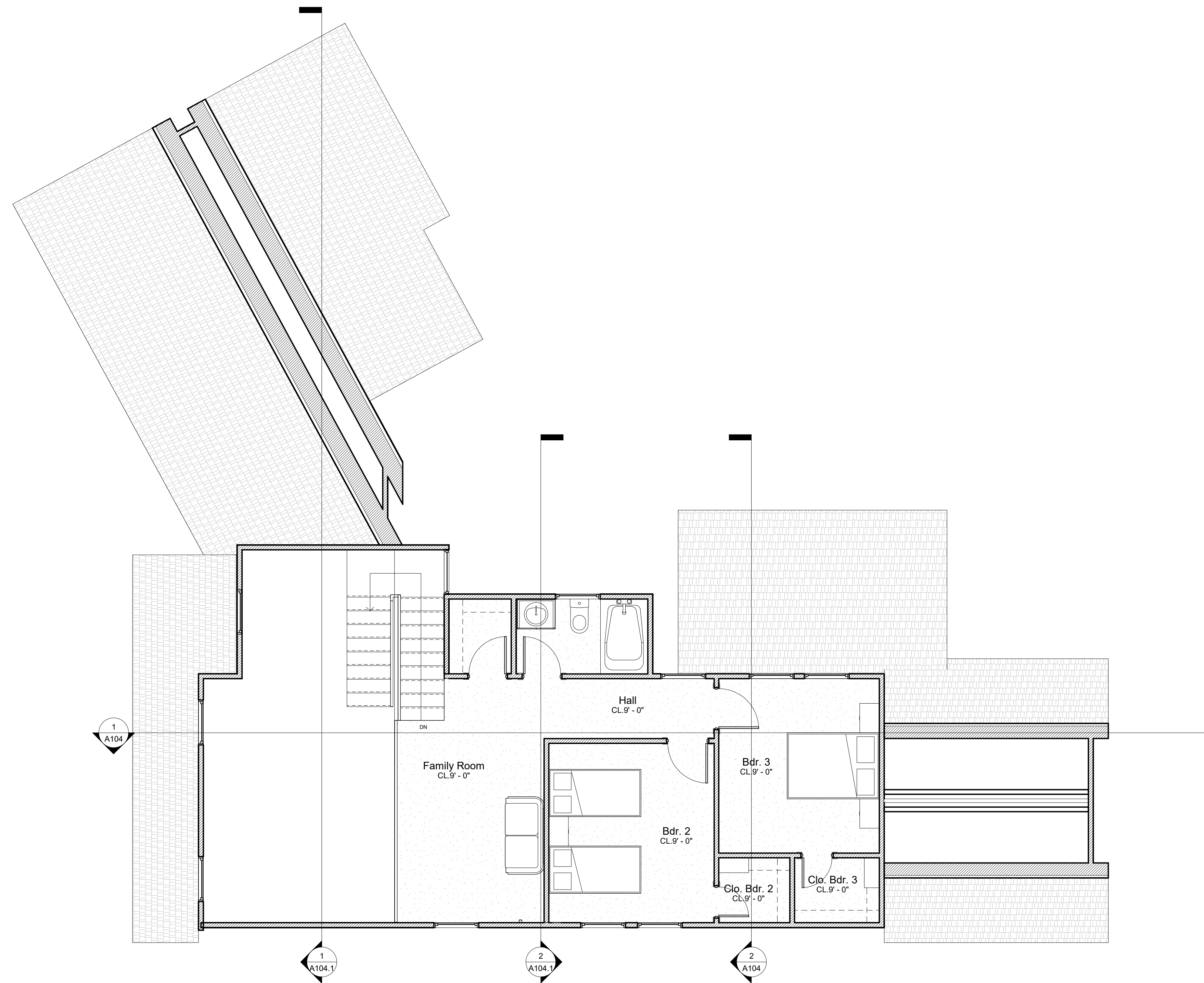
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ARCH SECOND FLOOR

A102.1

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① Second Floor
1/4" = 1'-0"



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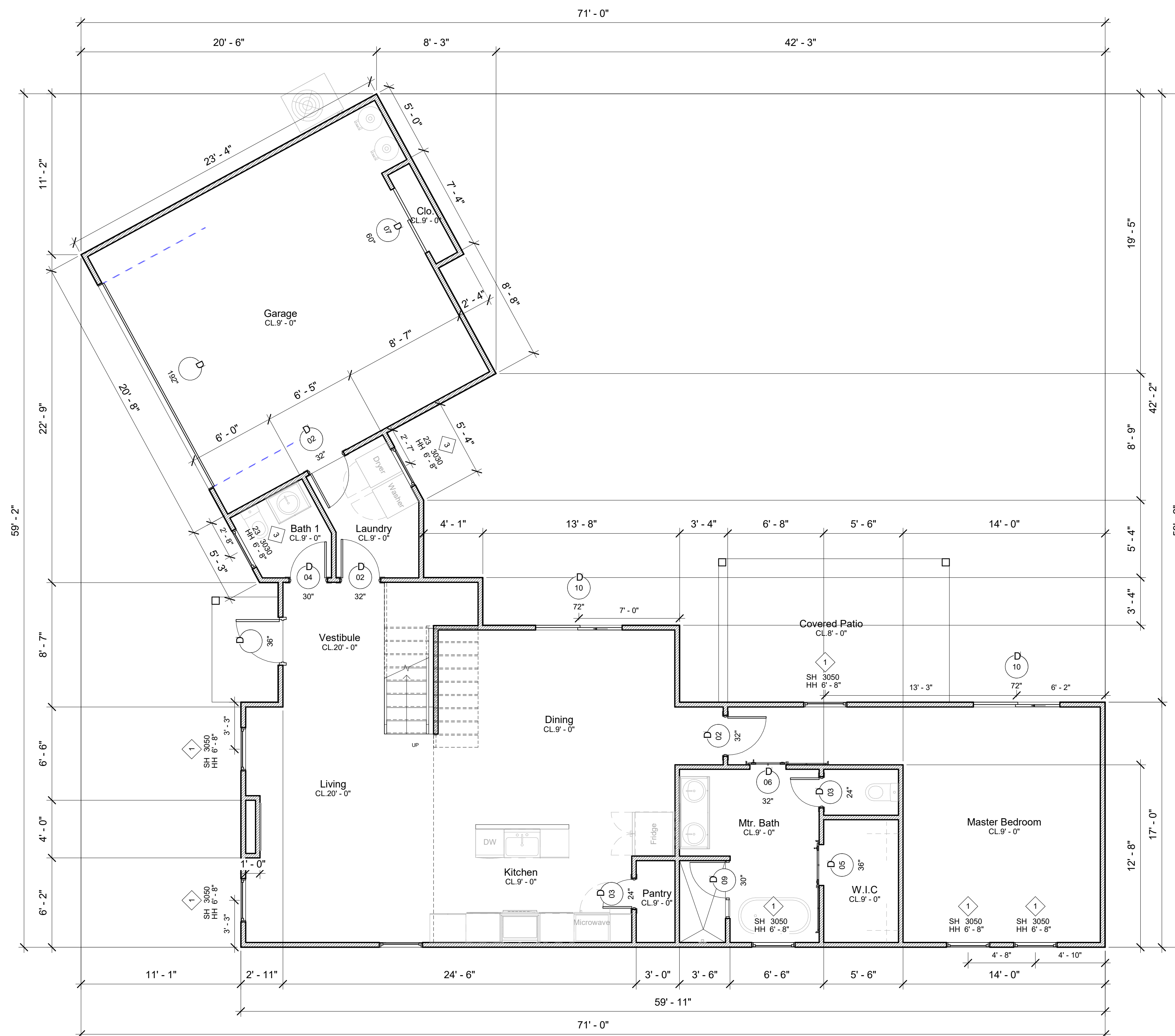
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DIMENSIONAL GROUND FLOOR PLAN

A102.2

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① Dimensional Ground Floor Plan
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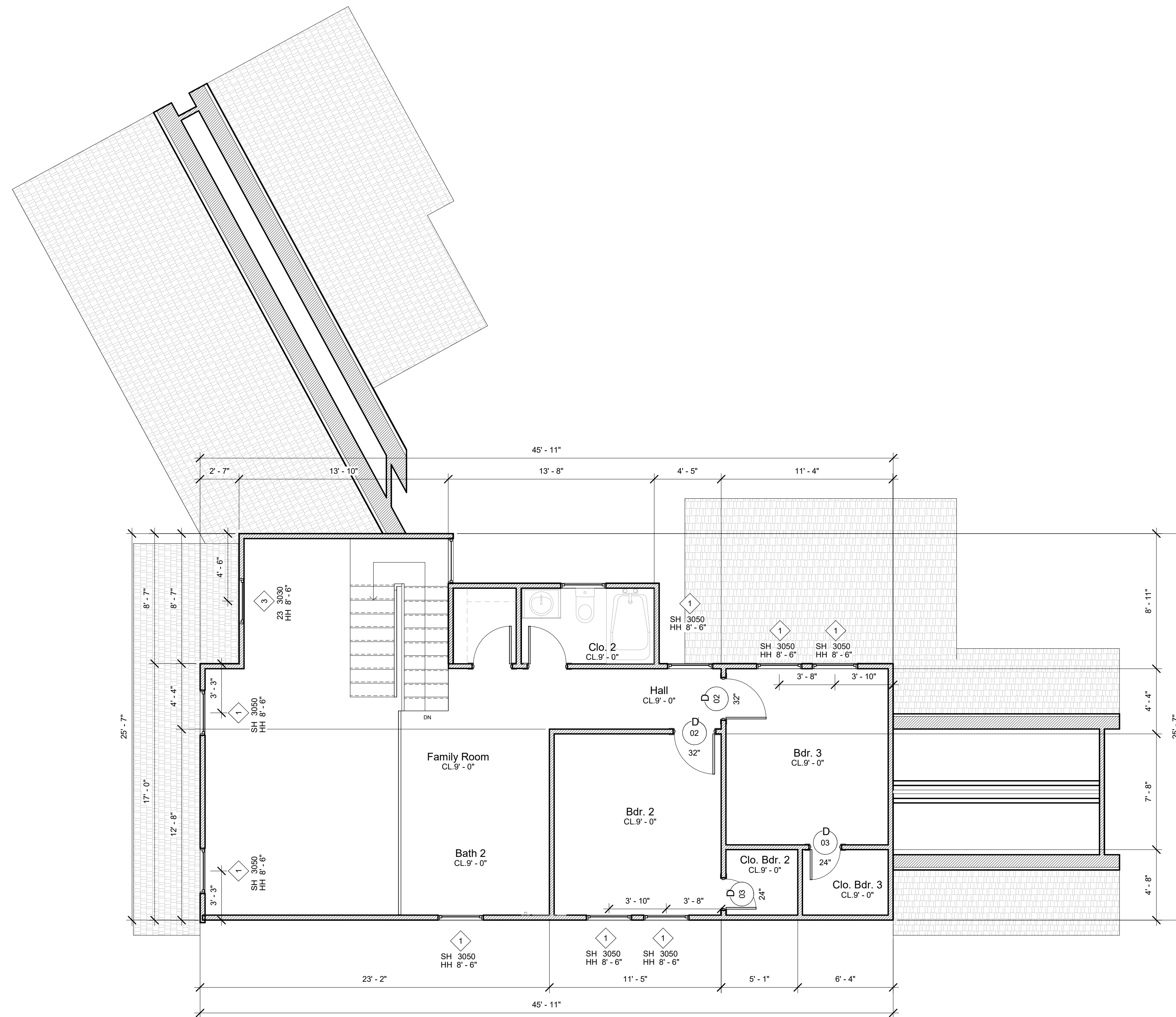
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DIMENSIONAL SECOND FLOOR PLAN

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1 Dimensional Second Floor Plan
1/4" = 1'-0"



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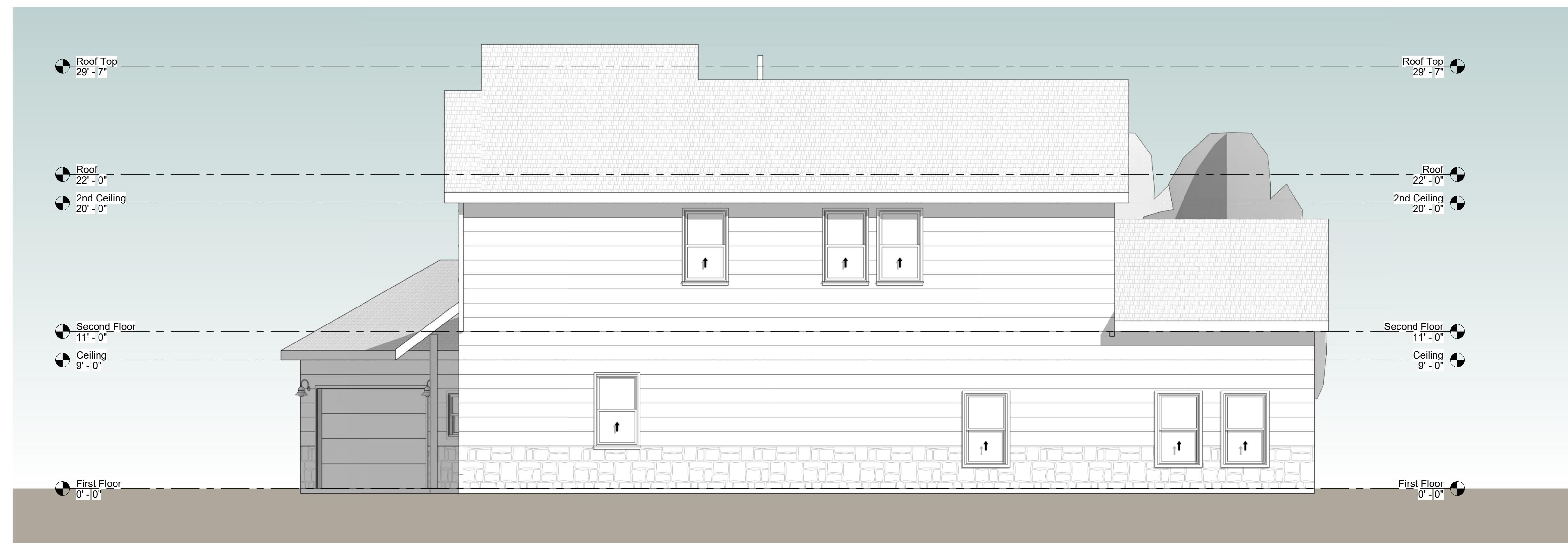
**ELEVATIONS
 NORTH & SOUTH**

A103

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① North
 1/4" = 1'-0"



② South
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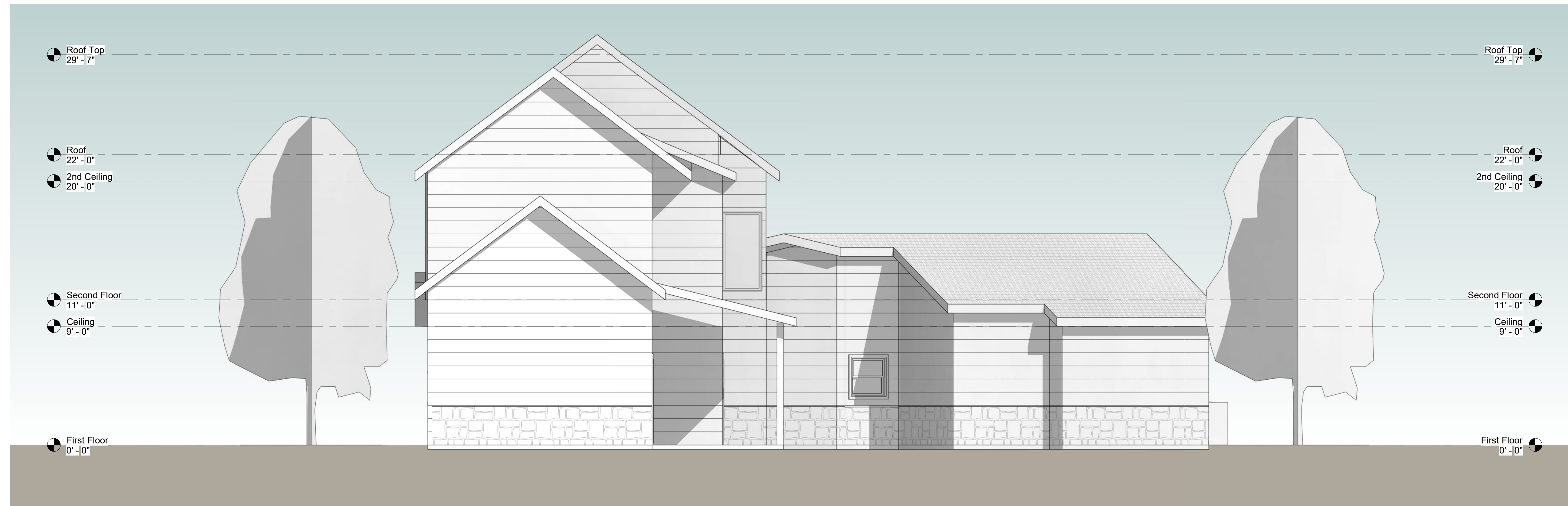
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**ELEVATIONS
EAST & WEST**

A103.1

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① East
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② West
1/4" = 1'-0"



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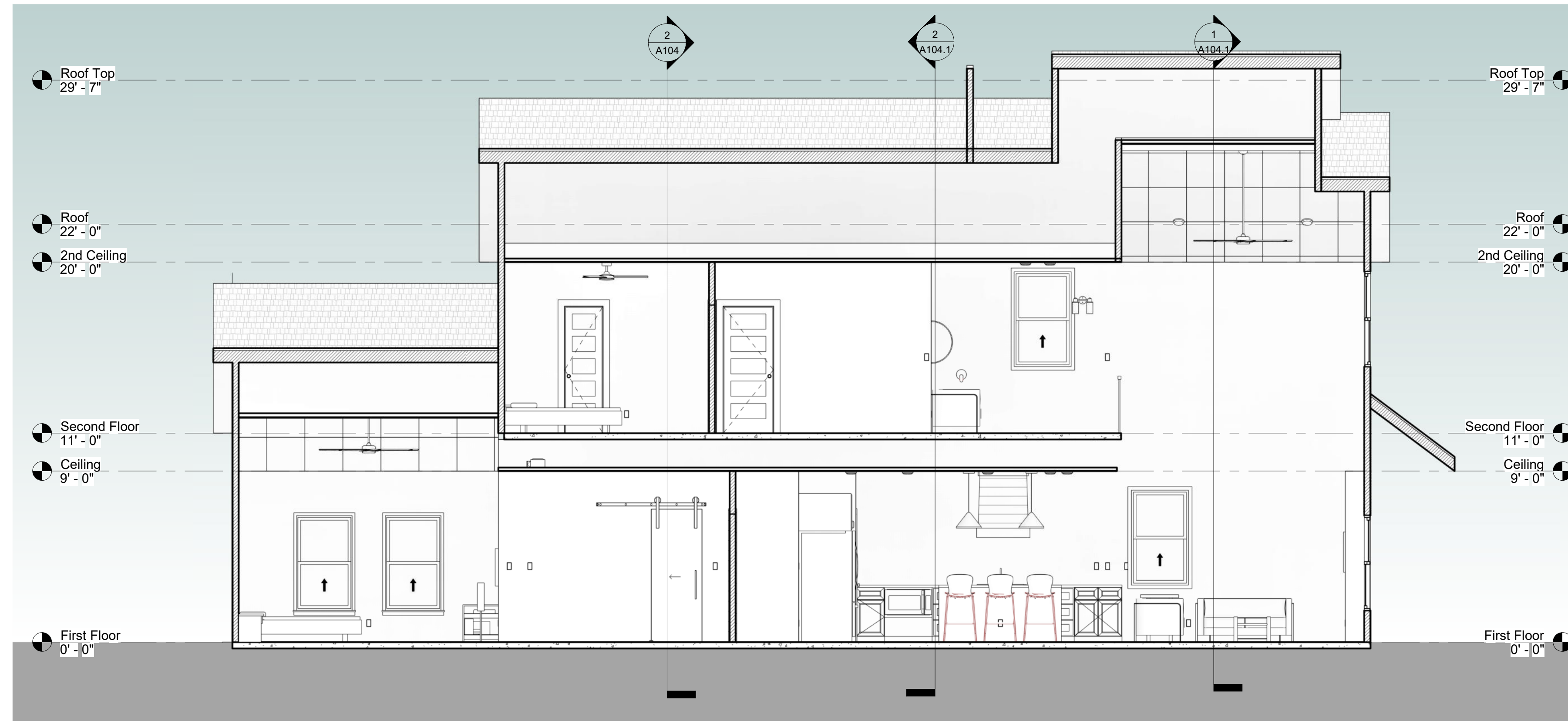
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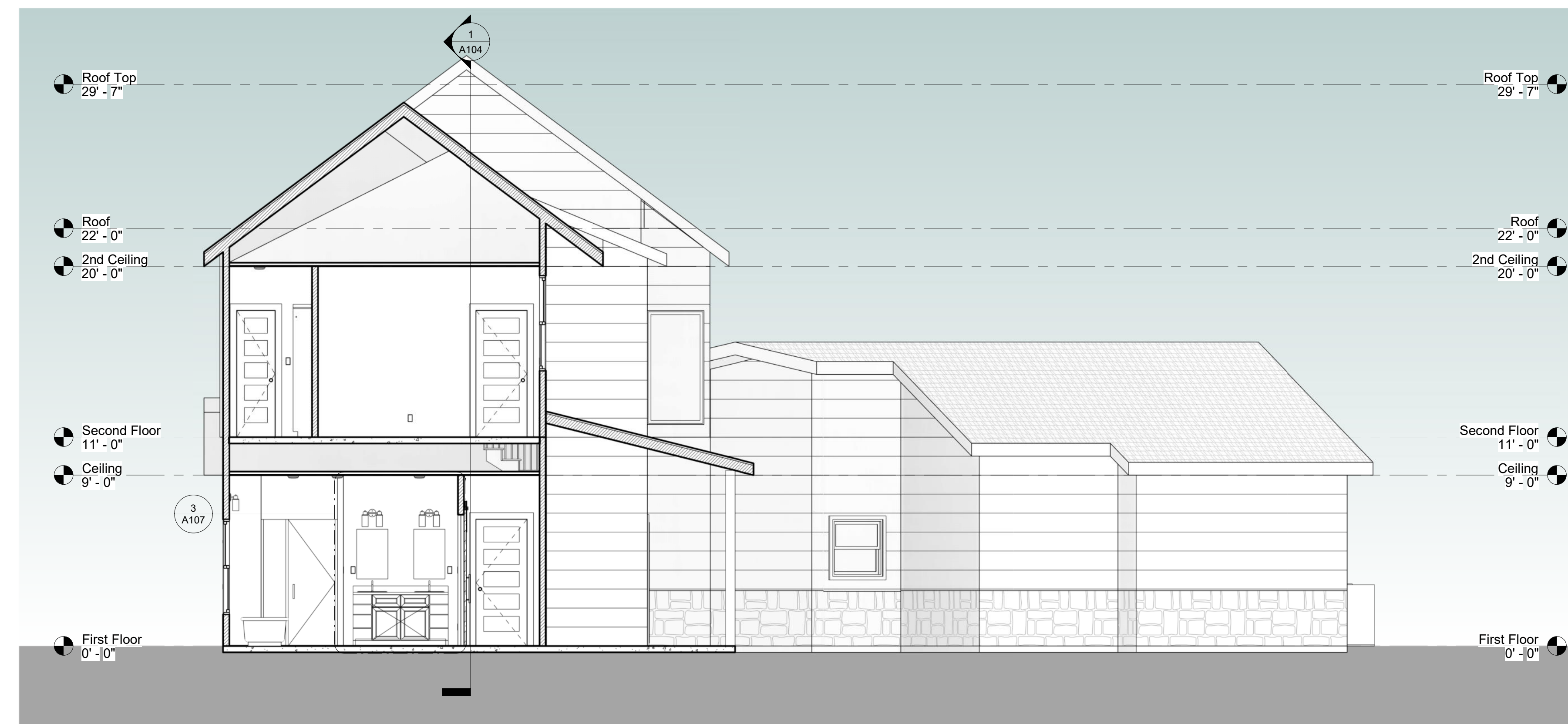
LONGITUDINAL SECTIONS

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① Longitudinal Section 1
 1/4" = 1'-0"



② Longitudinal Section 2
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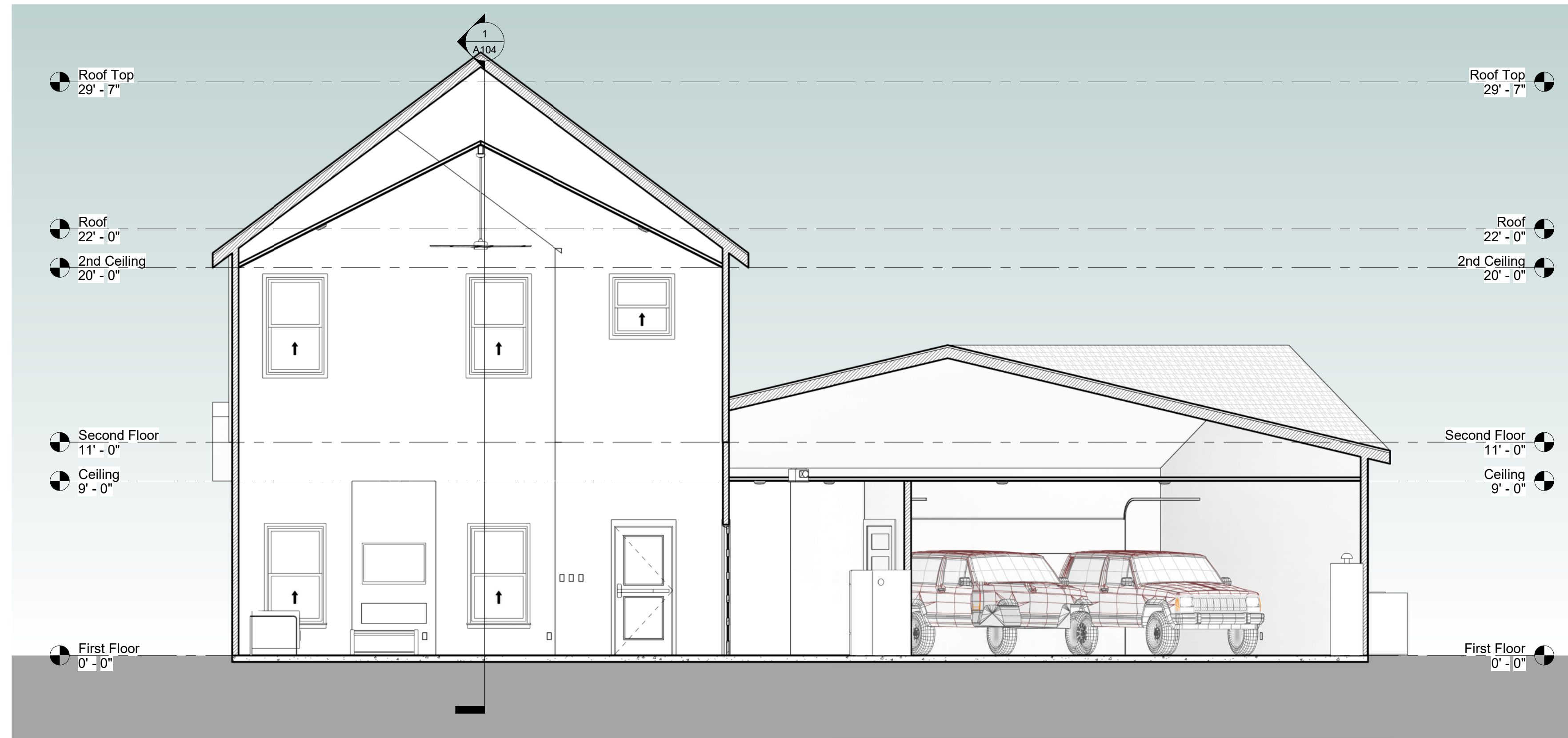
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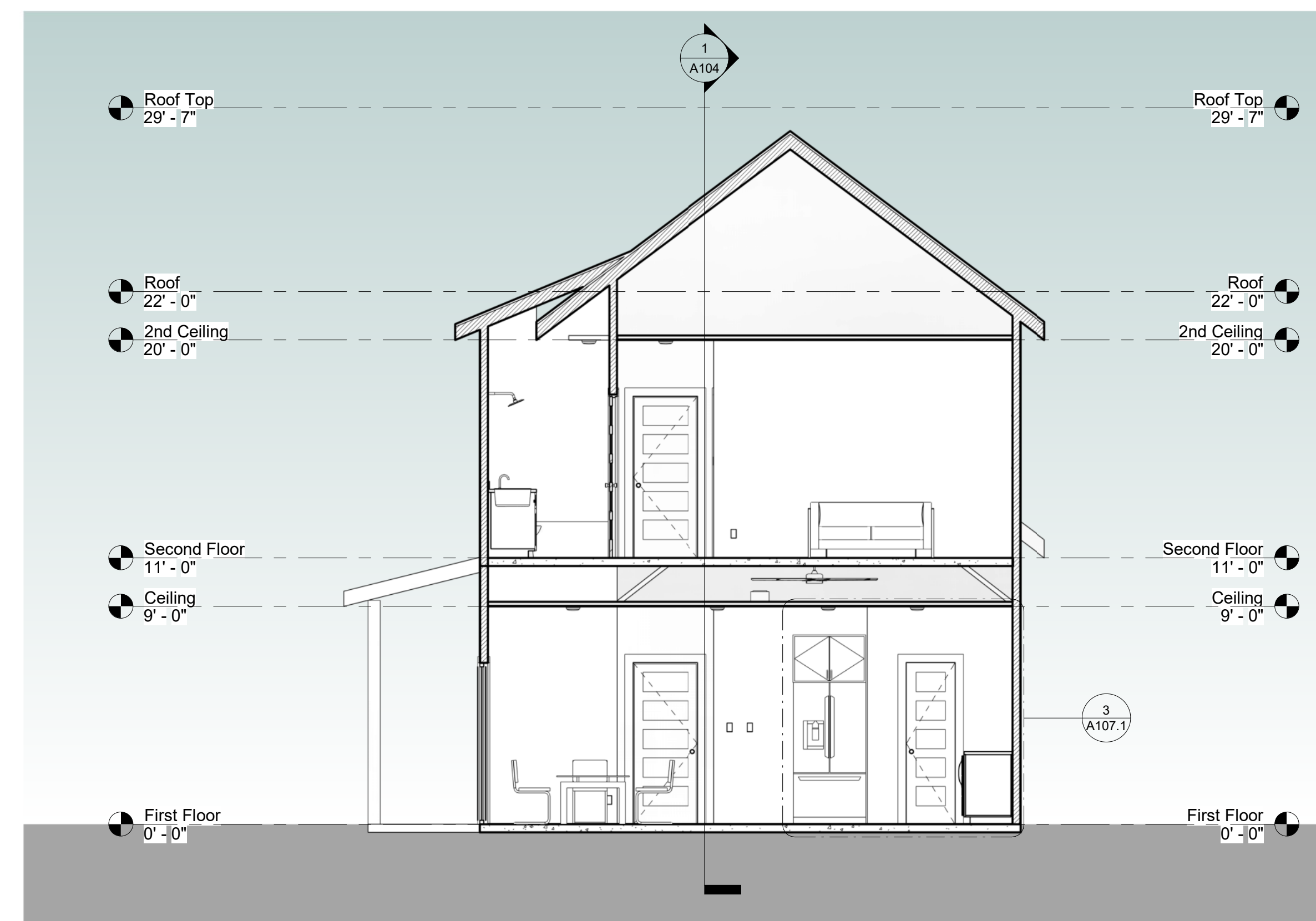
TRANSVERSAL SECTIONS

A104.1

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① Transversal Section 1
 1/4" = 1'-0"

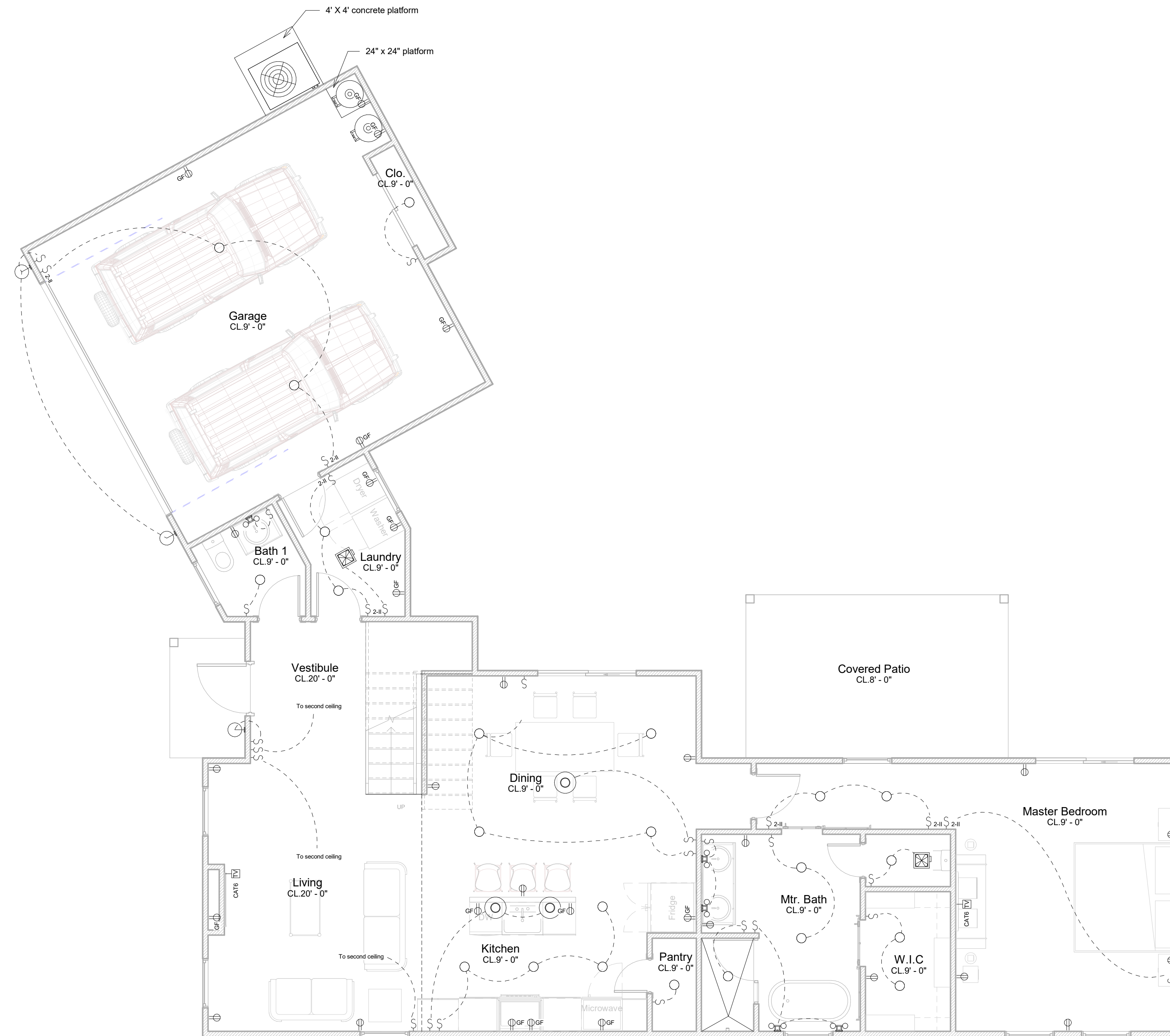


② Transversal Section 2
 1/4" = 1'-0"



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1 Electrical Ground Floor
1/4" = 1'-0"

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Name:
Address:
Phone:
e-mail:

Owner

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ELECTRICAL
GROUND FLOOR

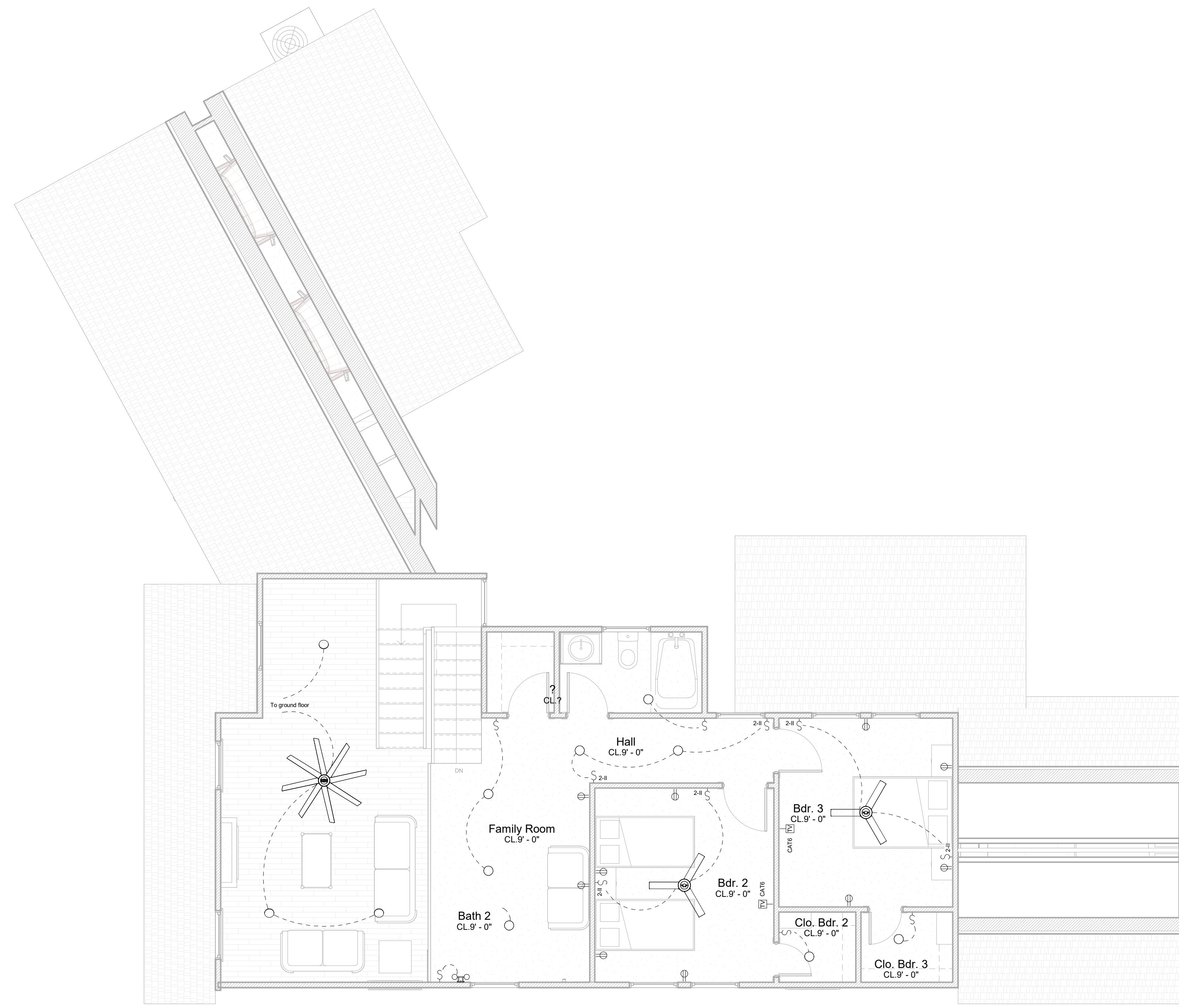
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1 Electrical Second Floor
1/4" = 1'-0"

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ELECTRICAL
SECOND FLOOR

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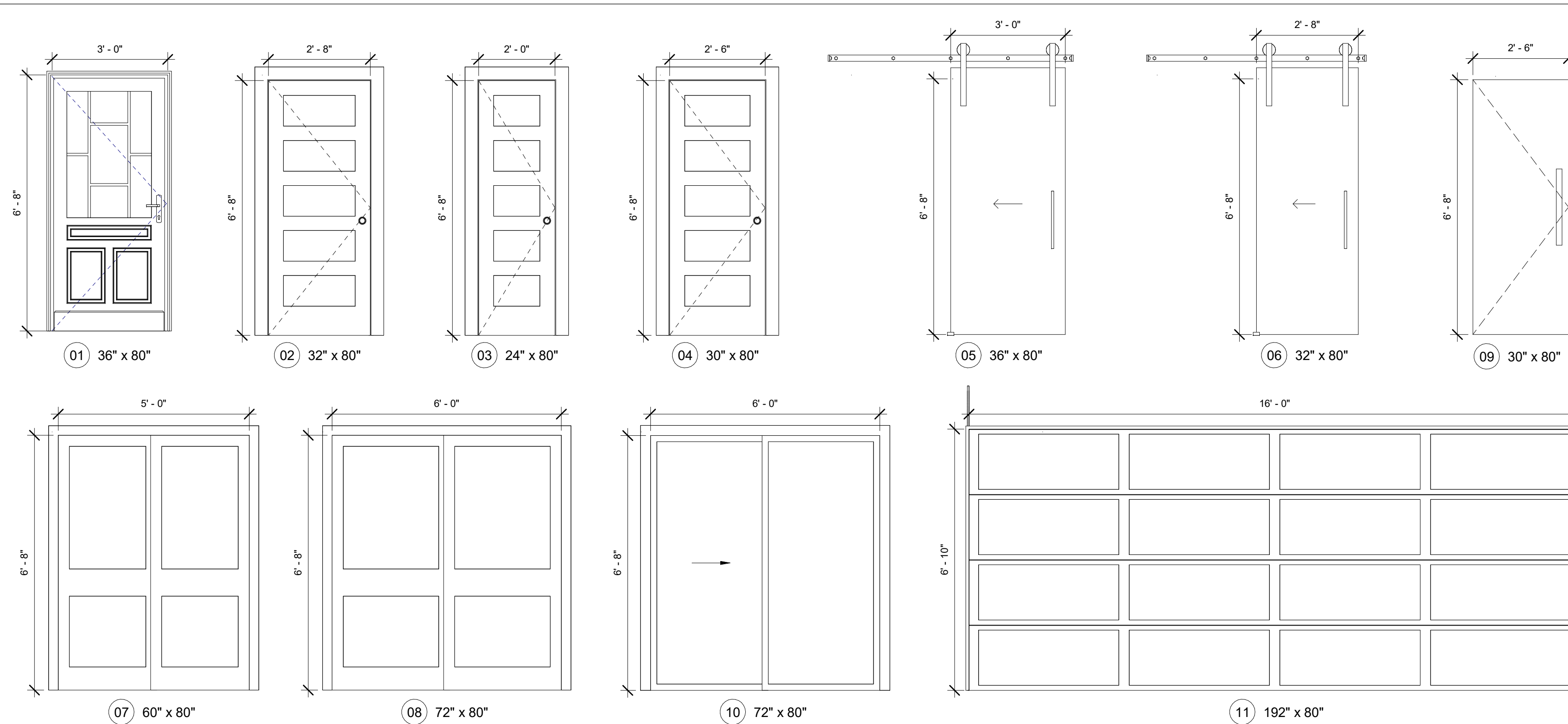
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SCHEDULE &
QUANTITIES

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Doors Plan

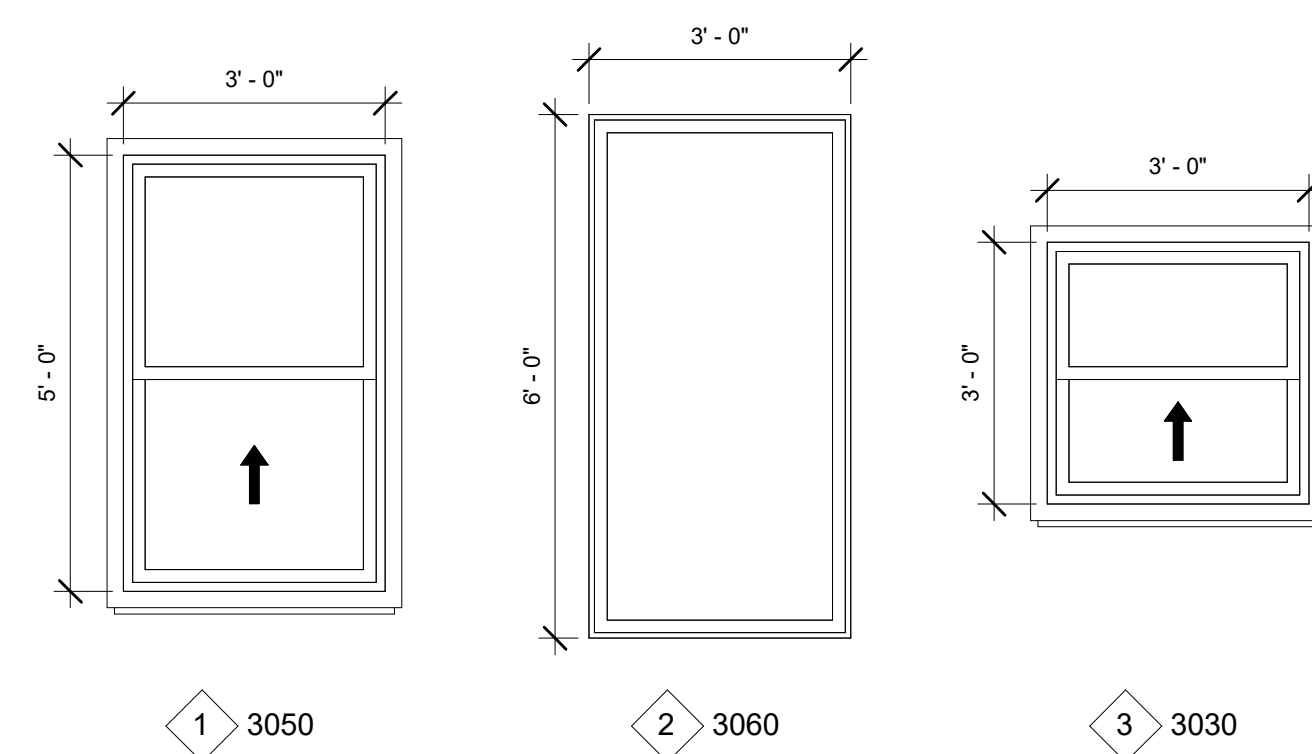
1/2" = 1'-0"

Door Schedule					
Model	Count	Type	Width	Height	Type Mark

	2	<varies>	<varies>	<varies>	<varies>
02	5	32 x 80"	2' - 8"	6' - 8"	Wood 5 Panels
03	4	24"X 80"	2' - 0"	6' - 8"	Wood 5 Panels
04	3	30"X 80"	2' - 6"	6' - 8"	Wood 5 Panels
05	1	36" x 80"	3' - 0"	7' - 0"	Barn Door
06	1	32" x 80"	2' - 8"	7' - 0"	Barn Door
07	1	60" x 80"	5' - 0"	6' - 8"	Double Sliding Closet Door
09	1	60" x 80"	2' - 6"	6' - 8"	Shower Glass Door
10	2	72" x 80"	6' - 0"	6' - 8"	Sliding Glass Door
Total	20				

Window Schedule					
Model	Count	Type	Width	Height	Description

1	15	3050	3' - 0"	5' - 0"	White Vynil Single-Hung
2	1	3060	3' - 0"	6' - 0"	Fixed White Vynil
3	4	3030	3' - 0"	3' - 0"	White Vynil Single-Hung
Total	20				



Windows Plan

1/2" = 1'-0"

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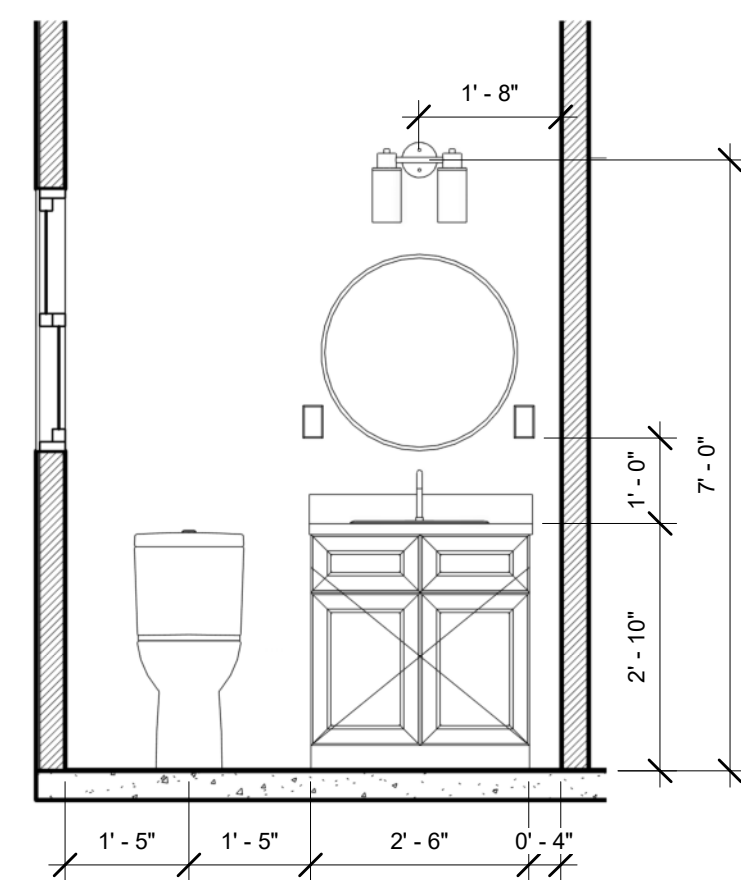
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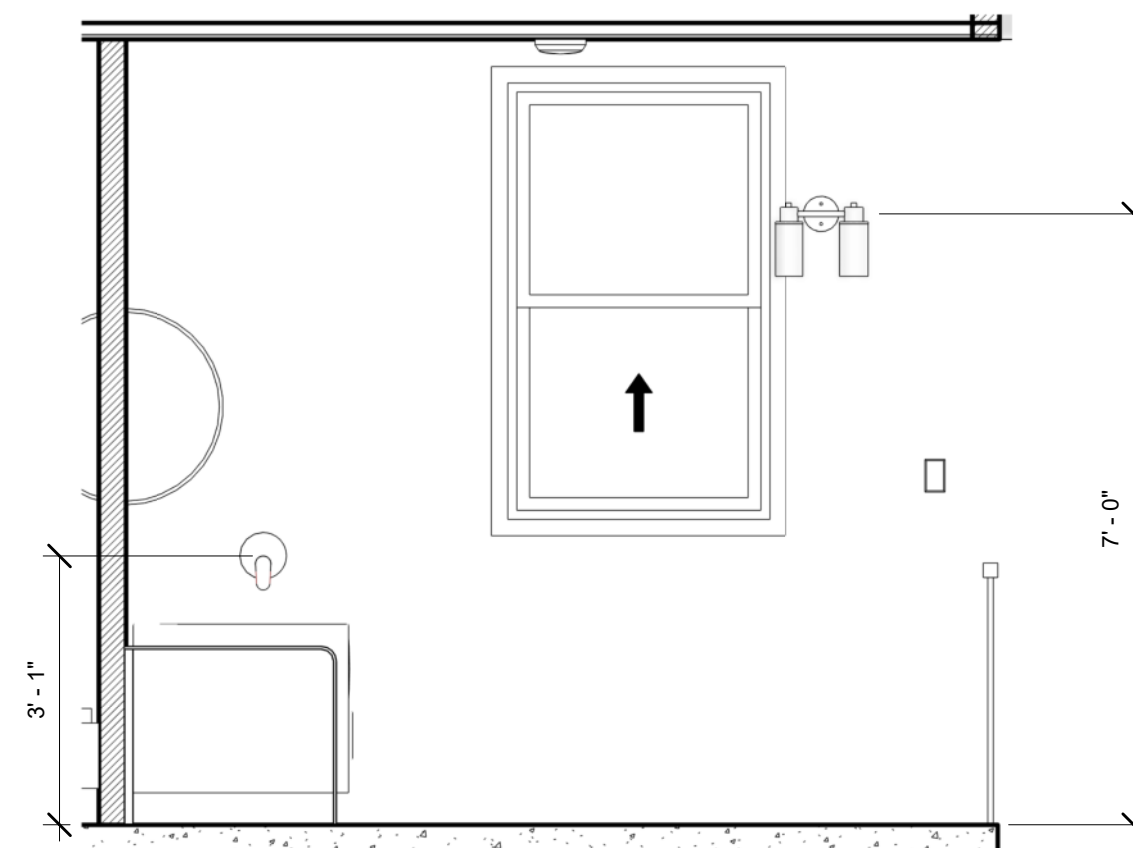
CARPENTRY & BATH DETAILS

A107

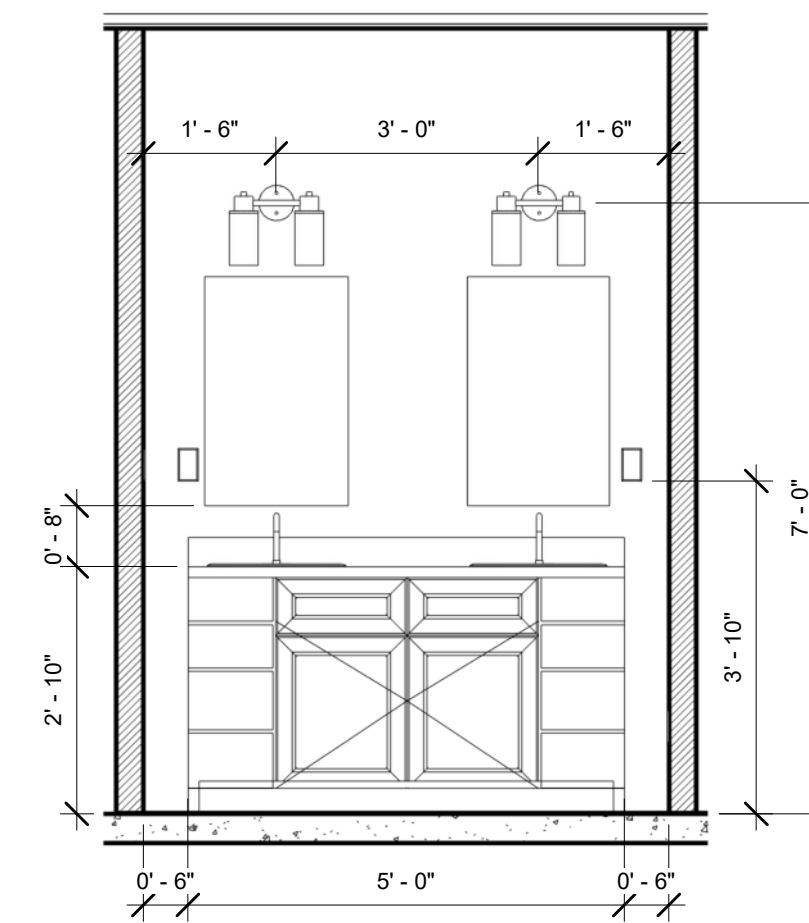
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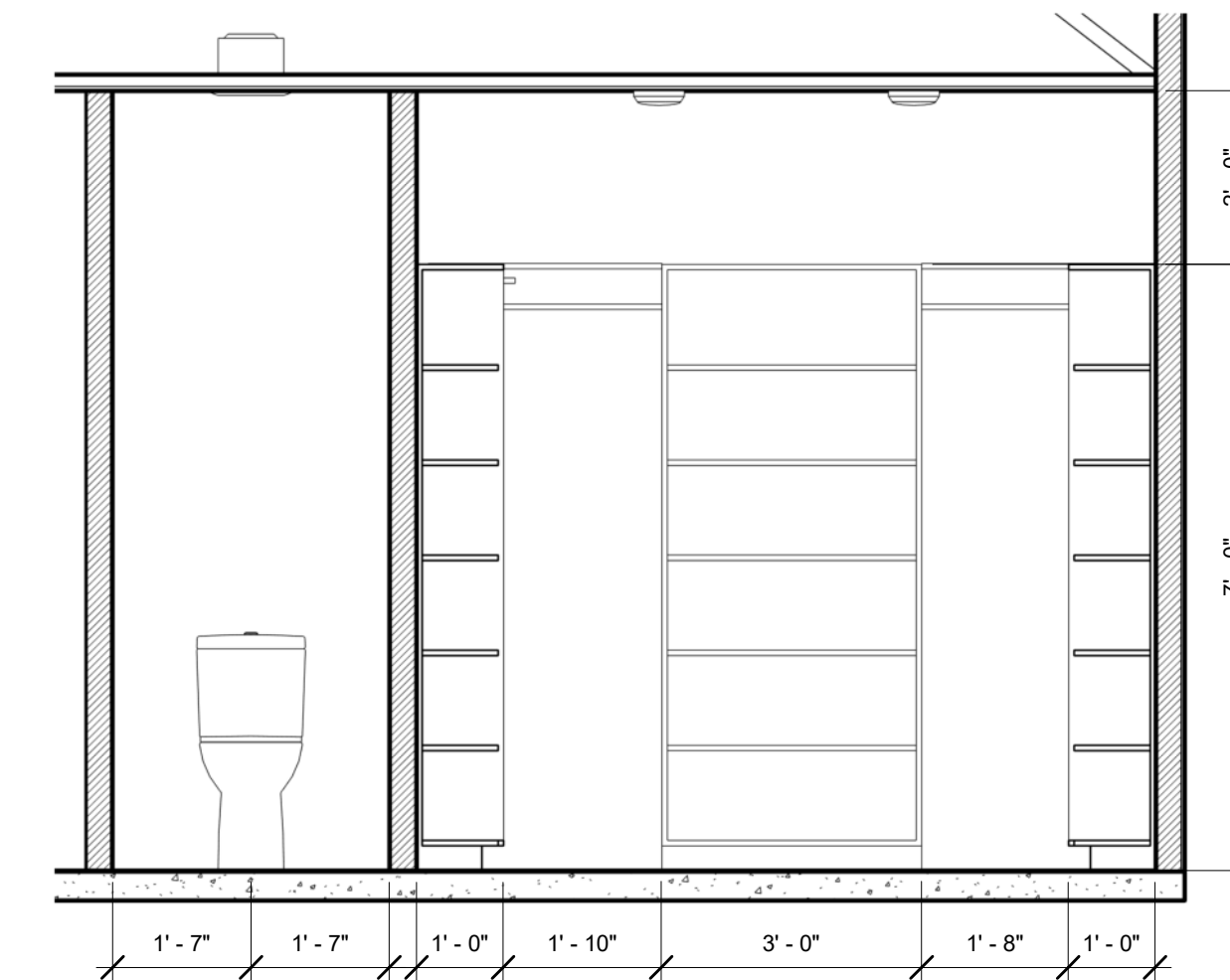
① Bath 1
 1/2" = 1'-0"



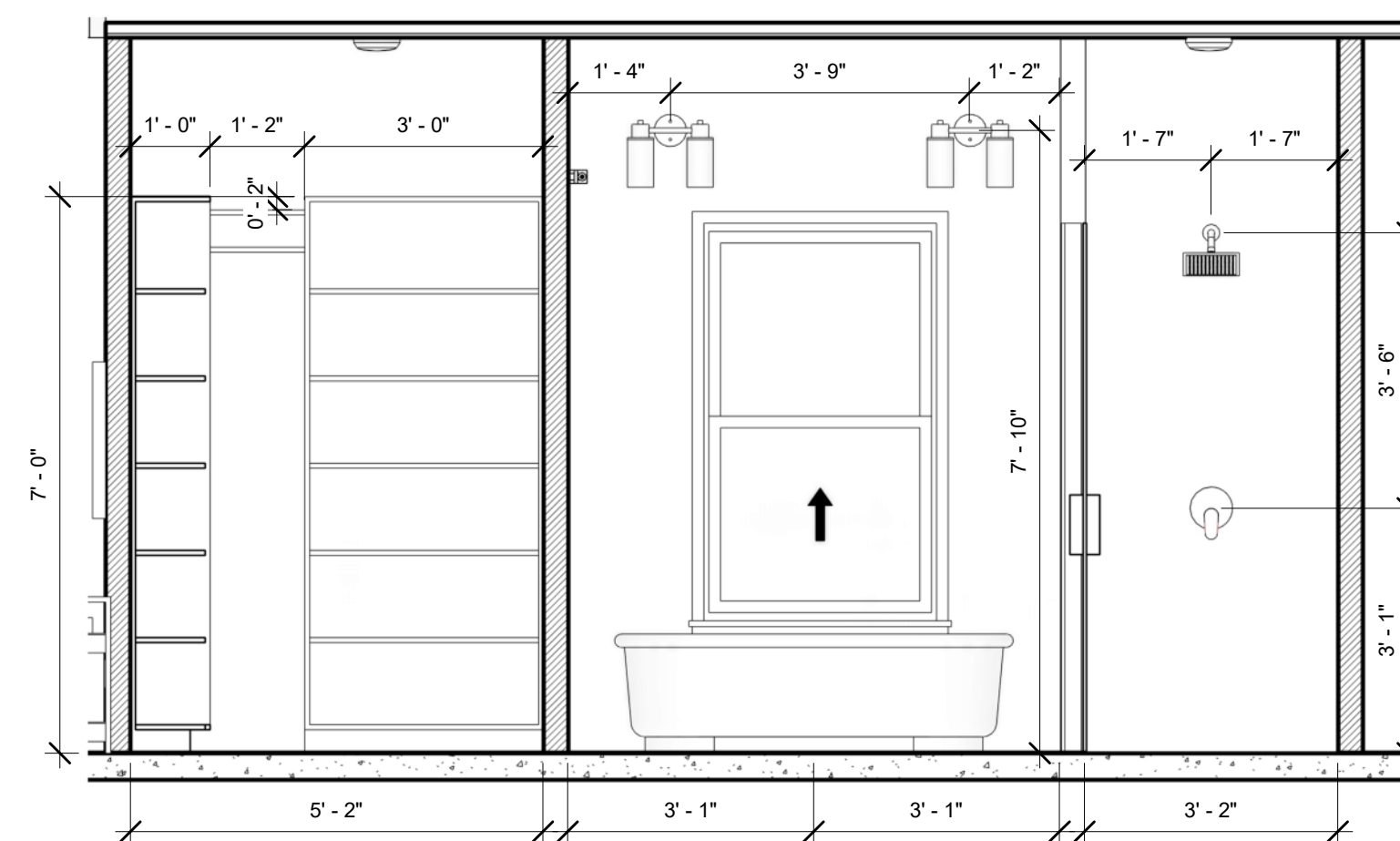
② Bath 2
 1/2" = 1'-0"



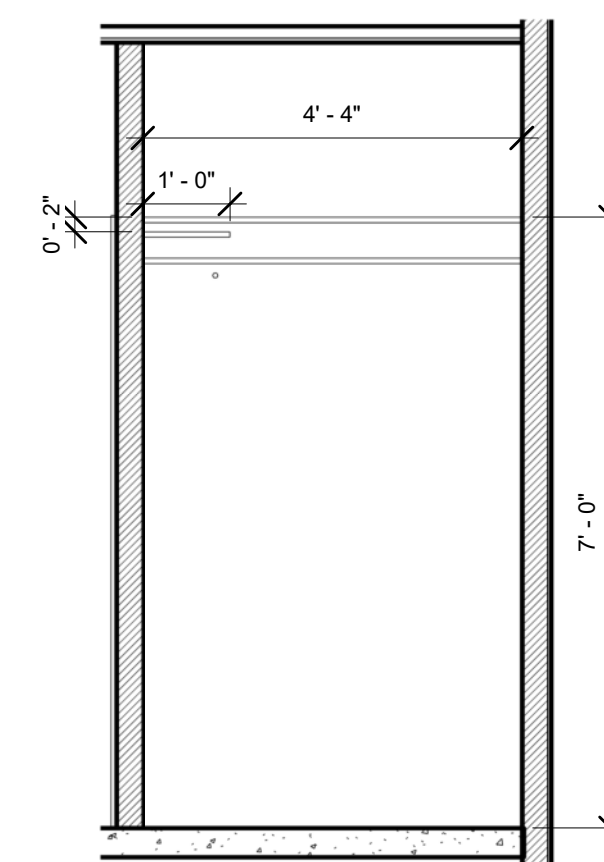
③ Mstr. Bath (Vanity)
 1/2" = 1'-0"



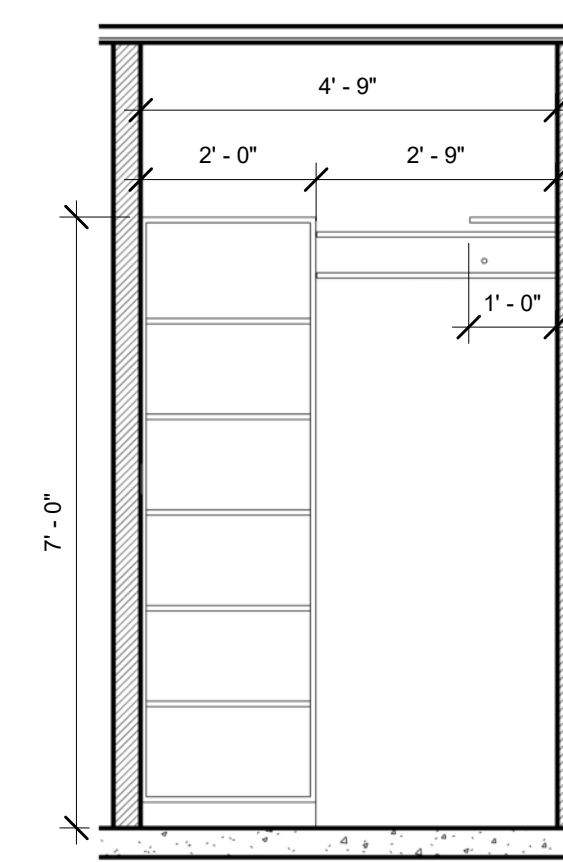
④ Mstr. Bath (WC & Front Clo.)
 1/2" = 1'-0"



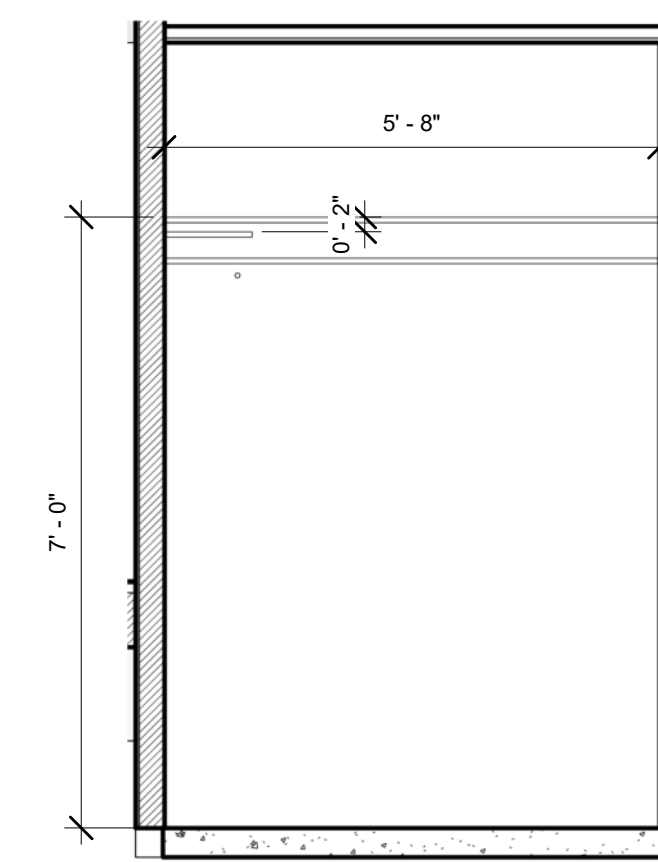
⑤ Mstr. Bath (Shower, Tub & Side Clo.)
 1/2" = 1'-0"



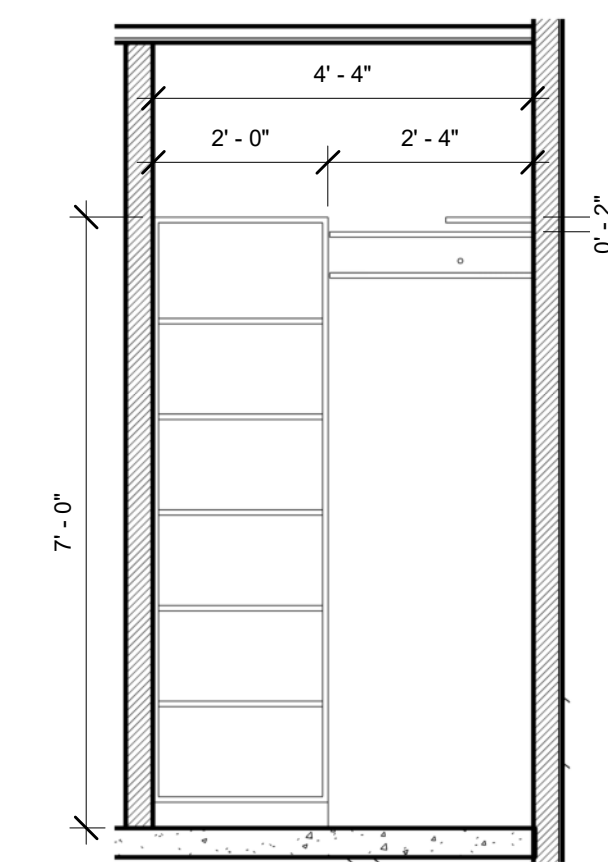
⑥ Clo. Bdr. 2 (Front)
 1/2" = 1'-0"



⑦ Clo. Bdr. 2 (Side)
 1/2" = 1'-0"



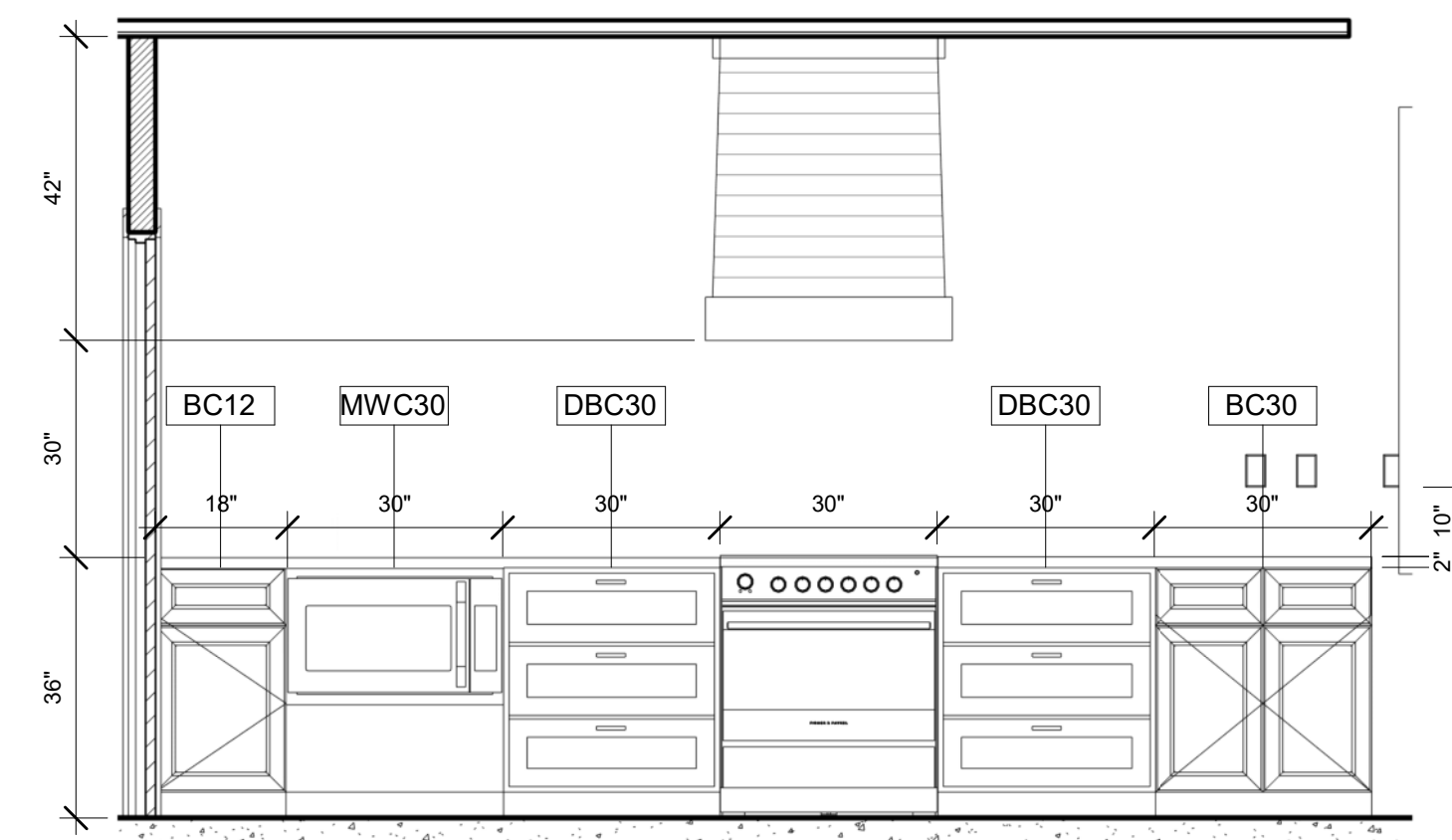
⑧ Clo. Bdr. 3 (Front)
 1/2" = 1'-0"



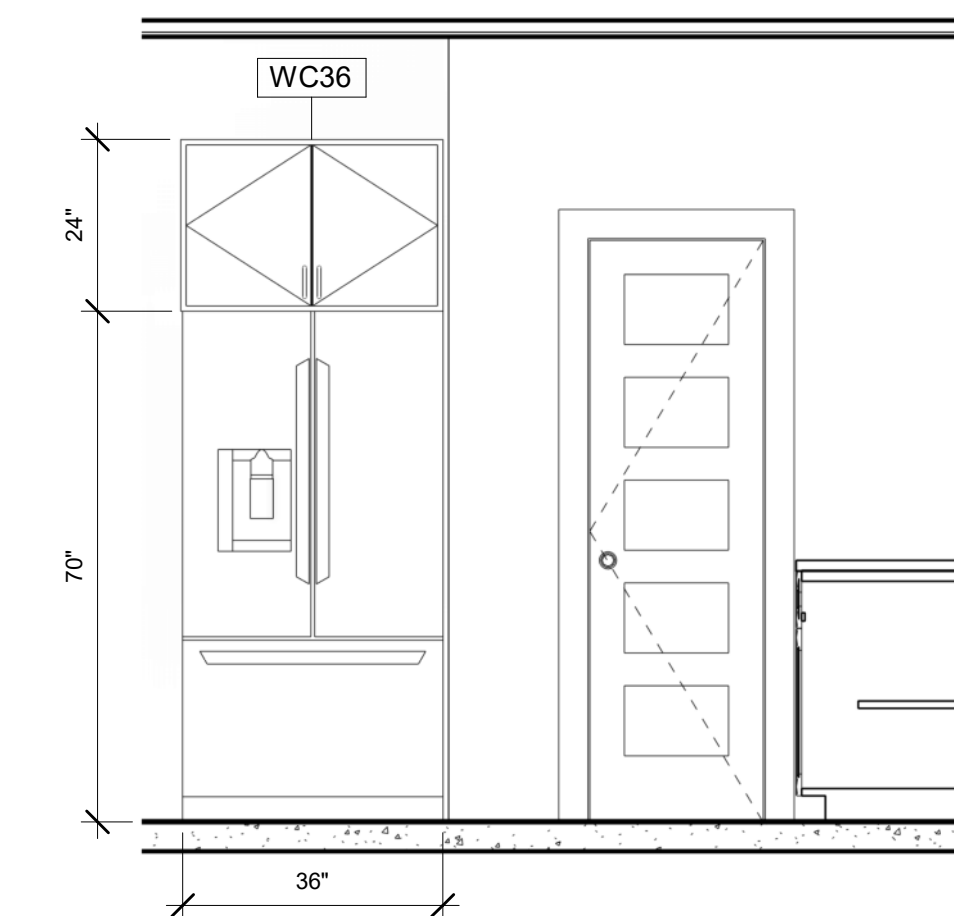
⑨ Clo. Bdr. 3 (Side)
 1/2" = 1'-0"



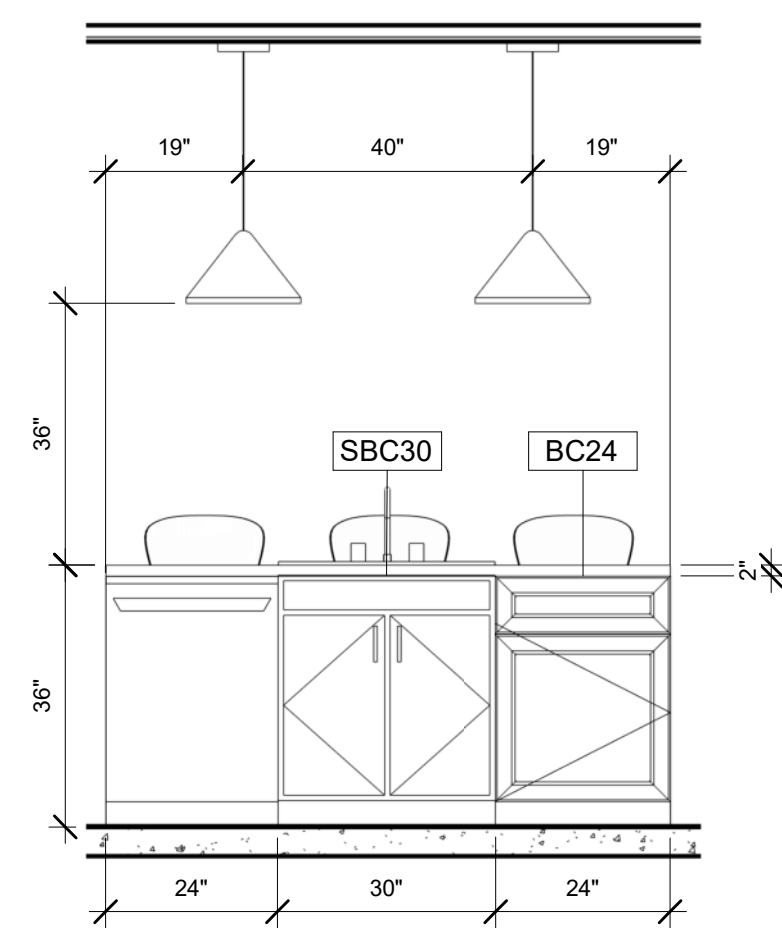
① Kitchen Floor Plan
1/2" = 1'-0"



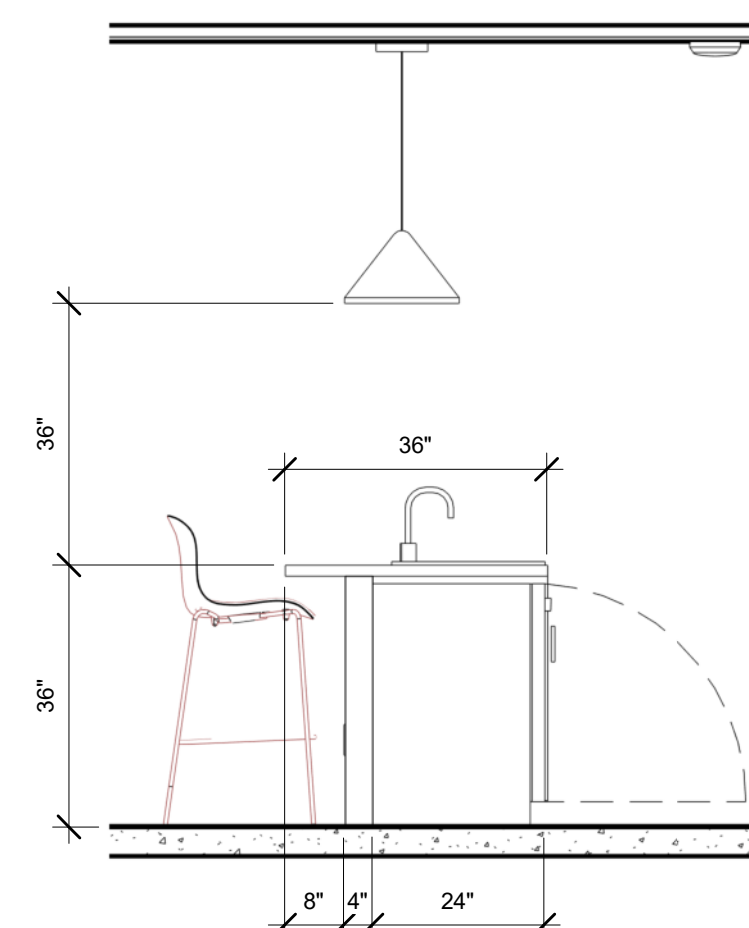
② Kitchen Range Wall
1/2" = 1'-0"



③ Kitchen (Fridge Wall)
1/2" = 1'-0"



④ Kitchen Island (Front)
1/2" = 1'-0"



⑤ Kitchen Island (Side)
1/2" = 1'-0"

Kitchen Cabinets				
Model	Count	Width	Height	Description
BC12	1	1' - 6"	2' - 11"	Base Cabinet (1 Door)
BC24	1	2' - 0"	2' - 11"	Base Cabinet (1 Drawer)
BC30	1	2' - 6"	2' - 11"	Base Cabinet (2 Doors)
DBC30	2	2' - 6"	2' - 11"	Base Cabinet (3 Drawer)
MWC30	1	2' - 6"	2' - 11"	Base Microwave Cabinet
SBC30	1	2' - 6"	2' - 11"	Sink Base Cabinet (2 Doors)
WC36	1	3' - 0"	2' - 0"	Wall Cabinet (2 Doors)
Total	8			

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CARPENTRY & KITCHEN DETAILS

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